

KEY MAP
1" = 100'

BASIS OF BEARING:

BASIS OF BEARING IS THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 17, T-14-S, R-13-E, NAMELY N 89°25'23" W. (BK. 44, PG. 60)

BASIS OF ELEVATION: ★

2" BCSD AT THE INTERSECTION OF STARR PASS BOULEVARD AND PLAYER'S CLUB DRIVE. ELEVATION: 2639.02 C.O.T. F.B. 1530, PG. 15

OWNER/DEVELOPER:

T.F. ROBERTSON HOMES
450 NORTH 6TH AVENUE
TUCSON, ARIZONA 85705
(520) 770-1800

PARKING SPACE CALCULATIONS

VISITOR PARKING = 9 (36 / 4 = 9 SPACES)
VISITOR PARKING PROVIDED = MORE THAN 9
ALONG ONE SIDE OF STREET. SEE GENERAL
NOTE F.6.

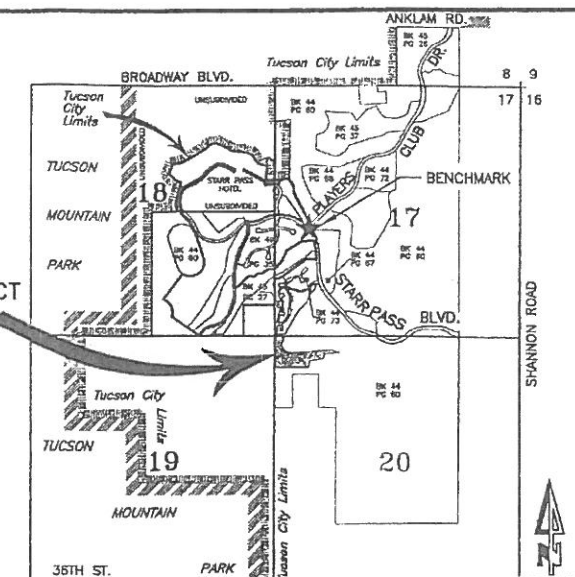
GENERAL NOTES:

- ZONING INFORMATION**
 - THE GROSS AREA OF THE SUBDIVISION IS 9.39 ACRES.
 - LOTS 1-36 = 5.51 ACRES.
 - COMMON AREA A = 1.98 ACRES (DRAINAGE).
 - COMMON AREA B = 1.90 ACRES (PRIVATE STREETS).
 - EXISTING ZONING IS R1 AND WILL REMAIN, CASE NO. C9-92-12.
 - THE NUMBER OF LOTS IS 36, COMMON AREA A (DRAINAGE), AND COMMON AREA B (PRIVATE STREETS).
 - BUILDING HEIGHT: ALLOWED 24' PROPOSED LESS THAN 24'
 - THE PROPOSED USE IS SINGLE FAMILY RESIDENTIAL DD RCP-4 SUBJECT TO SECTION 3.6.1 AND 3.5.7.1.E AND .F.
- DRAINAGE**
 - THE DEVELOPER, ANY SUCCESSORS AND ASSIGNS, WILL HOLD THE CITY OF TUCSON, ITS OFFICERS, EMPLOYEES, AND AGENTS HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES RELATED TO THE USE OF THIS DEVELOPMENT AS SHOWN HEREON, NOW AND IN THE FUTURE, BY REASON OF FLOODING, FLOWAGE, EROSION, OR DAMAGE CAUSED BY WATER, WHETHER SURFACE FLOOD OR RAINFALL.
 - DRAINAGE WILL REMAIN IN ITS NATURAL STATE AND WILL NOT BE ALTERED, DISTURBED, OR OBSTRUCTED OTHER THAN AS SHOWN ON THIS PLAN OR DRAINAGE REPORT AS PRESENTED ON THE INDIVIDUAL BLOCKS.
 - ALL-WEATHER ACCESS WILL BE PROVIDED WITHIN THIS SUBDIVISION TO ALL LOTS.
 - A SEPARATE DRAINAGE PLAN HAS BEEN SUBMITTED AND IS HEREBY INCLUDED AS A PART OF THIS SUBDIVISION.
 - THE FOLLOWING LOTS ARE AFFECTED BY EROSION HAZARD SETBACK: 14, 15 & 27.
 - A FLOODPLAIN USE PERMIT AND/OR FINISHED FLOOR ELEVATION CERTIFICATES REQUIRED FOR THE FOLLOWING LOTS: 14, 15 & 27.

GENERAL NOTES: (cont.)

- UTILITIES**
 - ANY RELOCATION, MODIFICATION, ETC., OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC UNLESS OTHERWISE AGREED PRIOR BY THE CITY.
- STREETS AND ROADS**
 - ALL PUBLIC ROADS AND DRAINAGE IMPROVEMENTS WITHIN AND ADJACENT TO THIS SUBDIVISION WILL BE CONSTRUCTED IN ACCORDANCE WITH APPROVED PLANS. CONSTRUCTION PLANS WILL BE SUBMITTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL.
 - TOTAL MILES OF NEW PUBLIC STREETS IS 0 MILES.
 - TOTAL MILES OF NEW PRIVATE STREETS IS 0.29 MILES.
 - PRIVATE STREETS SHOWN ARE COMMON AREA B WITHIN THE DEVELOPMENT HEREON AND ARE UNDER THE TOTAL CONTROL OF THE ALTA LOMA AT STARR PASS HOMEOWNERS ASSOCIATION, WHICH IS RESPONSIBLE FOR THE OPERATION, SAFETY, LIABILITY AND MAINTENANCE.
- WASTEWATER MANAGEMENT**
 - PRIVATE SEWERS:**
 - "ON-SITE SANITARY SEWERS WILL BE PRIVATE AND WILL BE CONSTRUCTED, OPERATED, AND MAINTAINED ON A PRIVATE BASIS. THE LOCATION AND METHOD OF CONNECTION TO AN EXISTING PUBLIC SANITARY SEWER IS SUBJECT TO REVIEW AND APPROVAL BY THE PIMA COUNTY WASTEWATER MANAGEMENT DEPARTMENT AT THE TIME OF SUBMITTAL OF PLUMBING OR BUILDING PLANS."
 - "A PROPERTY OWNER'S ASSOCIATION WILL BE FORMED TO ACCEPT RESPONSIBILITY AND LIABILITY FOR CONSTRUCTION, MAINTENANCE, OPERATION AND CONTROL OF ALL PRIVATE SEWERS."
- GENERAL RELATED NOTES**
 - THIS SUBDIVISION IS SUBJECT TO THE PROVISIONS OF THE HILLSIDE DEVELOPMENT ZONE (HDZ) AND THE RESIDENTIAL CLUSTER PROJECT (RCP), AND HAS BEEN DESIGNED TO MEET THE CRITERIA OF THOSE ZONES.
 - THE RCP DESIGNATOR FOR THIS PROJECT IS RCP-4, PROPOSED USE FAMILY DWELLING PER L.U.C. 2.3.4.2.A, SUBJECT TO L.U.C. SEC. 3.6.1 AND 3.5.7.1 E AND F.
 - THIS DEVELOPMENT WILL BE CONSTRUCTED OF A MATERIAL OR PAINTED A COLOR THAT BLENDS WITH THE NATURAL ENVIRONMENT. ALL EXPOSED EXTERIOR WALLS AND ROOFS OF STRUCTURES, RETAINING WALLS, AND ACCESSORY STRUCTURES, EXCEPT SATELLITE DISHES, SHALL BE EARTH TONE IN COLOR AND WILL BLEND WITH THE PREDOMINANT NATURAL COLORS FOUND ON THE LOT OR PARCEL. SATELLITE DISHES MAY BE BLACK. WHITE IS NOT PERMITTED. BUILDING HEIGHT RESTRICTED TO 24 FEET IN HDZ AREAS. ALL SITE WORK INCLUDING GRADING MUST COMPLY WITH D.S. 9-04.0.
 - ALL OUTDOOR LIGHTING WILL BE DIRECTED DOWNWARD AND AWAY FROM SURROUNDING PROPERTY OWNERS AND NEIGHBORHOODS.
 - ALL MECHANICAL EQUIPMENT, STORAGE AND PARKING AREAS TO BE SCREENED WITH MATERIAL COMPATIBLE WITH THE NATURAL ENVIRONMENT.
 - ON STREET PARKING SHALL BE PROHIBITED ON ONE SIDE (SEE DETAIL "D" & "E" SHEET 3). SEE PARKING CALCULATIONS BELOW, THIS SHEET.
 - ALL UTILITIES SHALL BE PLACED UNDERGROUND.
 - ALL MECHANICAL EQUIPMENT SHALL ON THE GROUND AND SHALL BE SCREENED FROM ADJACENT STREETS EXTERIOR TO THE PROJECT AND FROM ADJACENT EXISTING RESIDENTIAL DEVELOPMENT. SCREENING SHALL BE ARCHITECTURALLY INTEGRATED WITH THE OVERALL DESIGN OF THE RCP.
 - THERE SHALL BE NO FURTHER DIVISION ON LAND OR RESUBDIVISION WITHOUT THE DEVELOPER OR SUCCESSOR IN INTEREST FURNISHING WRITTEN NOTICE TO ALL PROPERTY OWNERS OF RECORD WITHIN THE BOUNDARIES OF THE RCP. IN NO EVENT SHALL FURTHER DIVISION OF LAND OCCUR WITHOUT THE WRITTEN APPROVAL OF THE MAYOR AND COUNCIL.
 - BARRIER FREE ACCESSIBILITY:**
 - TOTAL TO BE PROVIDED WITHIN SUBDIVISION = 25%
 - 25% OF 36 LOTS = 9 LOTS REQUIRED.
 - LOTS 8,10,12-16,27,28 ARE BARRIER FREE TO COMMON AREA 'A'. SEE DETAIL F, SHEET 3.
 - TOTAL AREA OF THIS SUBDIVISION IS 9.39 ACRES, GRADED AREA = 7.50 ACRES AND ROADWAYS (COMMON AREA B) = 1.90 ACRES.
 - THE TOTAL ALLOWABLE SITE COVERAGE FOR STARR PASS IS 289.26 ACRES. THE AMOUNT OF SITE COVERAGE UTILIZED IN THIS SUBDIVISION IS 2.50 ACRES. (TOTAL AREA GRADED = 7.50 ACRES.)
 - ADDITIONAL FIRE HYDRANTS SHALL BE PROVIDED, BY THE DEVELOPER, IN ACCORDANCE WITH C.O.T. STANDARDS.
 - ALL HOMES TO BE EQUIPPED WITH FIRE SPRINKLERS.
 - RETAINING WALL STRUCTURAL DESIGN, WITH SCOUR DEPTH CALCULATIONS, FOR LOTS 14, 15 AND 27 WILL BE PROVIDED BASED ON A GEOTECHNICAL/SOILS REPORT AS PART OF THE PAVING/GRADING PLAN PERMITTING PROCESS.

THIS PROJECT



LOCATION MAP

BEING IN SECTIONS 17 & 20, T 14 S, R 13 E, G&SRM, CITY OF TUCSON, PIMA COUNTY, ARIZONA

LEGEND

	EXISTING PAVEMENT
	PROPOSED RETAINING WALL
	EXIST. PRIVATE MANHOLE AND SEWER MAIN
	EXIST. PRIVATE WATER LINE
	NEW PRIVATE MANHOLE AND SEWER MAIN
	NEW PRIVATE WATER LINE
	SANITARY SEWER FORCE MAIN
	EXISTING CONTOUR LINE
	CENTERLINE (C)
	100 YEAR FLOODPLAIN LIMITS
	DRAINAGE FLOW ARROWS
	CORNER LOT ACCESS
	FINISH FLOOR ELEVATION
	COMMON AREA
	100 YR DRAINAGE PEAK FLOW DEVELOPED CONDITIONS
	EXIST. AIR RELEASE VAULTS
	SURVEY MONUMENT PERM PC/COT STD 103
	SLOPE INDICATOR
	PROPOSED ASPHALT PAVEMENT
	GUEST PARKING
	DEPTH OF FLOW + FREEBOARD
	EROSION HAZARD SETBACK (EHS)

TENTATIVE PLAT/DEVELOPMENT PLAN A RESIDENTIAL CLUSTER PROJECT OF STARR PASS

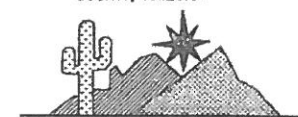
ALTA LOMA ESTATES AT STARR PASS

LOTS 1 THRU 36, AND COMMON AREA 'A', AND COMMON AREA 'B', BEING A RESUBDIVISION OF BLOCK 17 OF "STARR PASS" AS RECORDED IN BOOK 44 MAPS AND PLATS AT PAGE 60; SECTIONS 17 & 20, T14S, R13E G&SRM, CITY OF TUCSON, PIMA COUNTY, ARIZONA

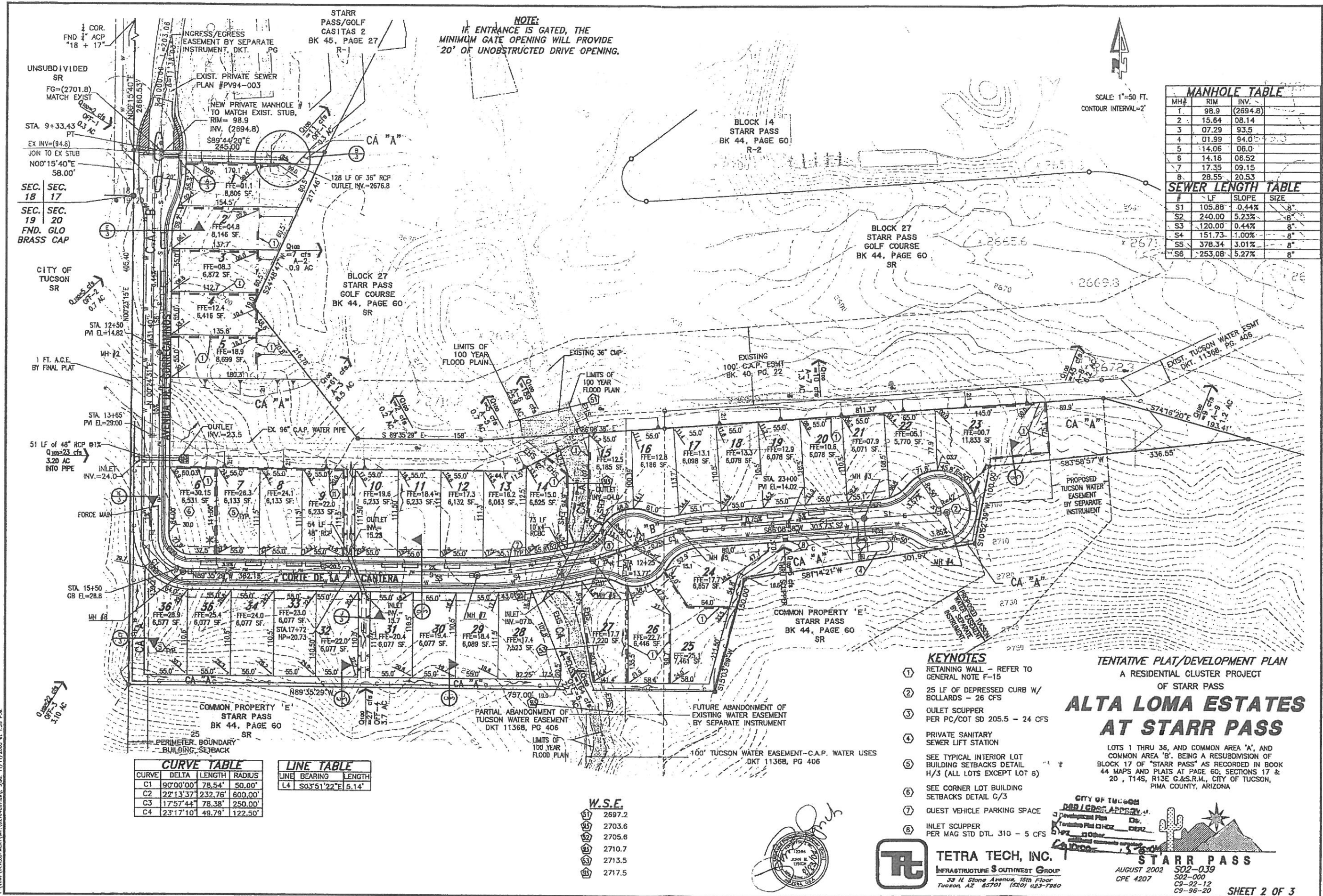
CITY OF TUCSON
DDP / CDRC APPROVAL
Development Plan
in Tentative Plat
City Engineer
City Engineer
City Engineer



TETRA TECH, INC.
INFRASTRUCTURE & OUTWEST GROUP
33 N. Stone, 15th Floor
Tucson, AZ 85701 (520) 623-7980



STARR PASS
AUGUST 2002 S02-039 DSRM 03-19
CPE 4207 S02-000
C9-92-12
C9-96-20



NOTE:
IF ENTRANCE IS GATED, THE
MINIMUM GATE OPENING WILL PROVIDE
20' OF UNOBSTRUCTED DRIVE OPENING.

SCALE: 1"=50 FT.
CONTOUR INTERVAL=2'

MANHOLE TABLE

MH#	RIM	INV.
1	98.9	(2694.8)
2	15.84	08.14
3	07.29	93.5
4	01.99	94.0
5	14.06	06.0
6	14.16	06.52
7	17.35	09.15
8	28.55	20.53

SEWER LENGTH TABLE

LF	SLOPE	SIZE
S1 105.88	0.44%	8"
S2 240.00	5.23%	8"
S3 120.00	0.44%	8"
S4 151.73	1.00%	8"
S5 378.34	3.01%	8"
S6 253.08	5.27%	8"

- KEYNOTES**
- 1 RETAINING WALL - REFER TO GENERAL NOTE F-15
 - 2 25 LF OF DEPRESSIONED CURB W/ BOLLARDS - 26 CFS
 - 3 OULET SCUPPER PER PC/COT SD 205.5 - 24 CFS
 - 4 PRIVATE SANITARY SEWER LIFT STATION
 - 5 SEE TYPICAL INTERIOR LOT BUILDING SETBACKS DETAIL H/3 (ALL LOTS EXCEPT LOT 6)
 - 6 SEE CORNER LOT BUILDING SETBACKS DETAIL G/3
 - 7 GUEST VEHICLE PARKING SPACE
 - 8 INLET SCUPPER PER MAG STD DTL 310 - 5 CFS

TENTATIVE PLAT/DEVELOPMENT PLAN
A RESIDENTIAL CLUSTER PROJECT
OF STARR PASS

ALTA LOMA ESTATES AT STARR PASS

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COMMON AREA 'B', BEING A RESUBDIVISION OF
BLOCK 17 OF "STARR PASS" AS RECORDED IN BOOK
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20, T14S, R13E G&S.R.M., CITY OF TUCSON,
PIMA COUNTY, ARIZONA

CURVE TABLE

CURVE	DELTA	LENGTH	RADIUS
C1	90°00'00"	78.54'	50.00'
C2	22°13'37"	232.76'	600.00'
C3	17°57'44"	78.38'	250.00'
C4	23°17'10"	49.79'	122.50'

LINE TABLE

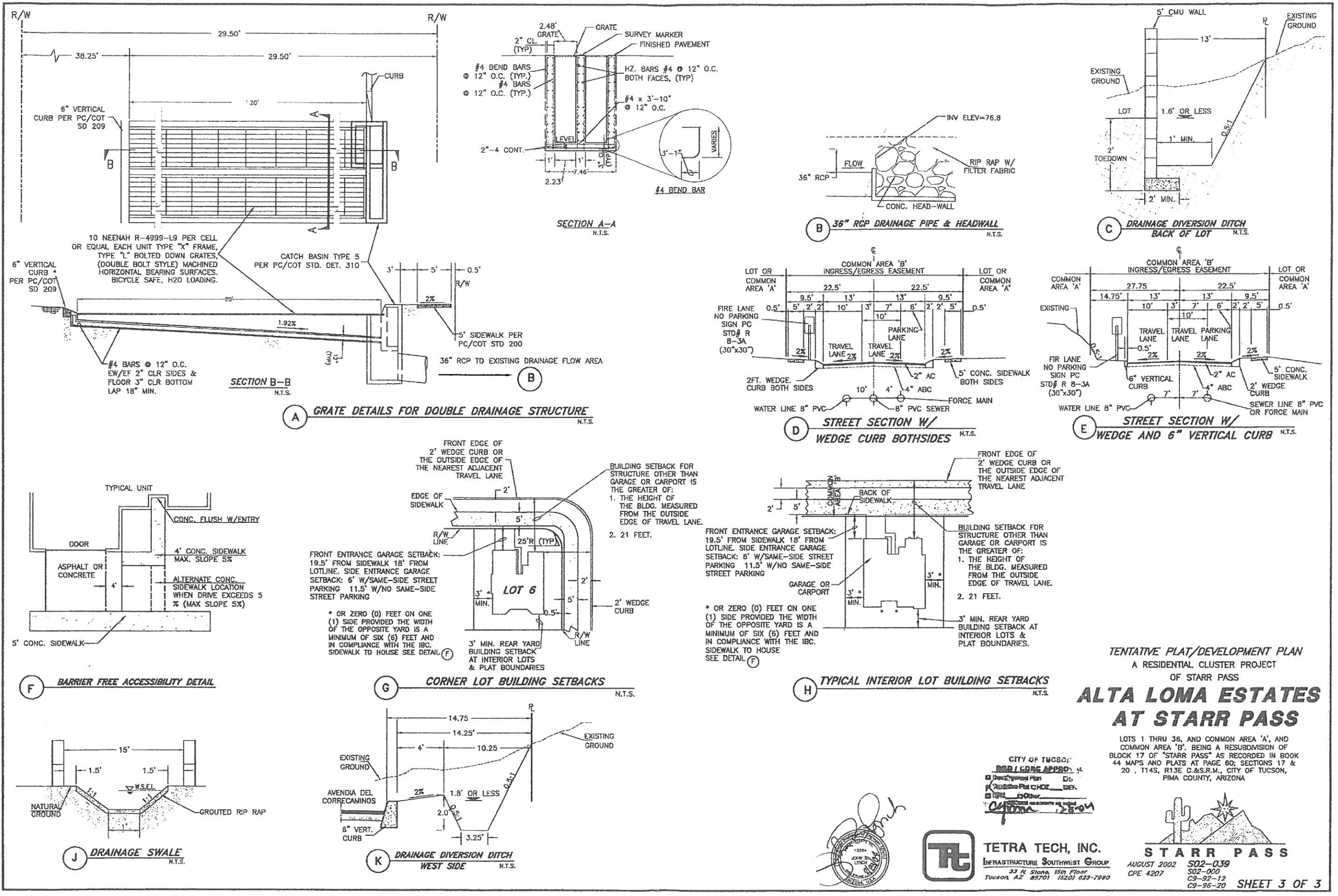
LINE	BEARING	LENGTH
L4	S03°51'22"E	5.14'

- W.S.E.**
- 1 2697.2
 - 2 2703.6
 - 3 2705.6
 - 4 2710.7
 - 5 2713.5
 - 6 2717.5



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CITY OF TUCSON
DEVELOPMENT PLAN
TENTATIVE PLAT CH-02
CITY ENGINEER
CITY OF TUCSON
STARR PASS
AUGUST 2002
CPE 4207
SD2-039
S02-000
C9-92-12
C9-96-20
SHEET 2 OF 3



PLAN DEVELOPMENT/STARRPASS/ALTA LOMA ESTATES/0207.dwg, CT, L, 11/27/2003 4:10:35 PM

TENTATIVE PLAT/DEVELOPMENT PLAN
A RESIDENTIAL CLUSTER PROJECT
OF STARR PASS
**ALTA LOMA ESTATES
AT STARR PASS**

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PIMA COUNTY, ARIZONA

CITY OF TUCSON
PLAT/CONG APPROVAL
Date: 8/28/02
By: [Signature]
Title: [Title]



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STARR PASS
AUGUST 2002
CPE 4207
S02-039
S02-000
C9-92-12
C9-96-20
SHEET 3 OF 3